

Home Inspection Report

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Home Inspection Summary

Exclusively for [REDACTED]

Please see main body of the report for any additional pictures and information

THIS REPORT IS INTENDED TO BE VIEWED IN COLOR.



Thank you for choosing [REDACTED]. At your request, a visual inspection of the above-referenced property was conducted on 3/19/2021. An earnest effort was made on your behalf to discover all visible defects; however, in the event of an oversight, maximum liability must be limited to the total inspection fee paid.

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your [REDACTED] real estate agent or an attorney. [REDACTED] agent or an attorney.

Below is a list of items found to be defective, in need of repair, or further evaluation. Please understand there may be hidden or concealed damage that could not be viewed, seen, or present at the time of inspection. For your protection, we strongly recommend consulting with a qualified licensed contractor to evaluate further all defects noted within this report. A qualified licensed contractor is needed to determine the extent of the repairs as there may have been hidden or concealed damage, which was not visible at the time of inspection.

According to our State requirements, we are required to direct our clients to have a qualified licensed contractor further evaluate all defects for this reason. It is essential for you to thoroughly understand the extent of any problem before the close of escrow on the home.

Home Inspection Definitions

Home Inspection: A home inspection is a limited, non-invasive visual examination of the condition of a home. To visually inspect essential components of a residential dwelling designed to identify MATERIAL DEFECTS.

Additional Services: Additional services are not part of this home inspection and do not fall under the guidelines of our Standard of Practice. Additional services may be listed within this report for your convenience; however, they are to be viewed as an independent service and viewed individually.

Material Defects: A material defect is a specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people.

The following report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects are not inspected and are not included in this report. No warranty is either expressed or implied from the home inspection report. This report is not an insurance policy, nor a warranty service.

It is strongly recommended that you promptly read the complete and entire report. The summary is not limited to additional negotiable items that may be within the main body of the report that maybe an additional concern to you.

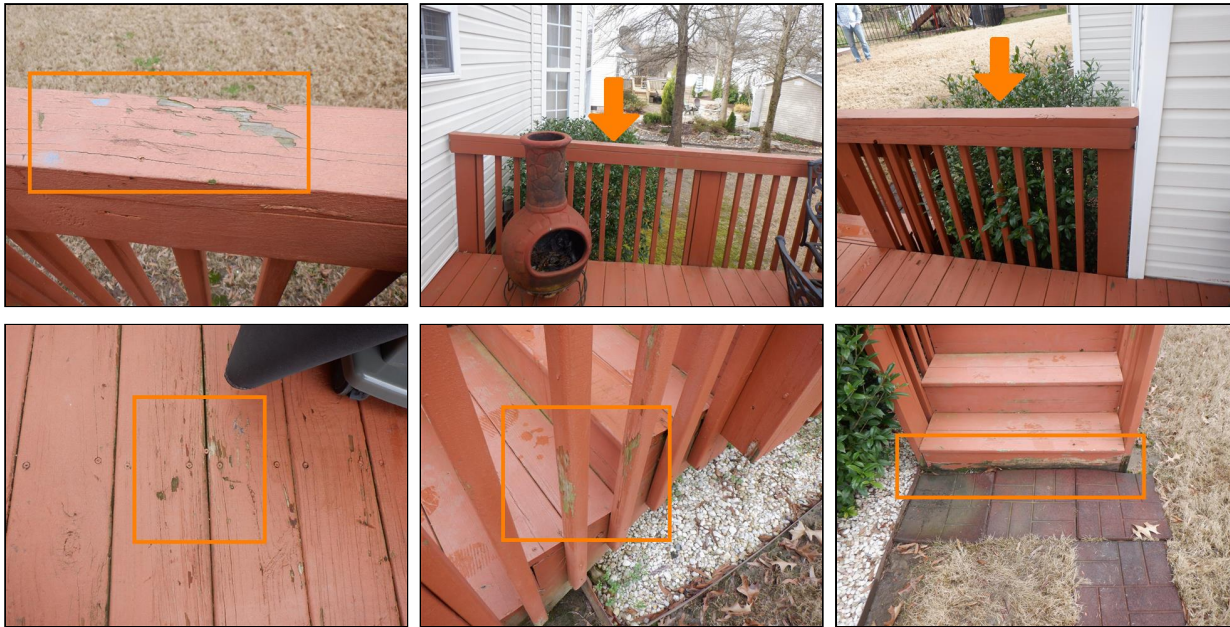
*The point of reference for this report is from the street looking at the front of the house. (The front, right crawl space would be the front, right corner of the home not the front right corner from the crawl space access door unless otherwise stated).

I. Deck(s)/Patio(s)/Porches

General Summary

Deck/Patio/Porch Visual Findings

1. Due to the following but not limited to, a qualified licensed contractor should be consulted to further evaluate the deck systems and/or components, as there may be hidden or concealed damage that was unseen or could not be viewed at the time of inspection. Further evaluation is recommended before closing of escrow to completely understand the extent of any damage or repairs required or deemed necessary:
 - A. Loose railing was noted at the rear deck. Corrections are needed to improve safety.
 - B. The railing is supported with 2x6 boards instead of suing posts. This can increase the potential for movement in the railing.
 - C. Moisture damage was noted at the bottom of the stairs. Further damage may occur if not corrected.
 - D. Missing or peeling paint was noted at the rear deck. Corrections are needed to protect the wood from moisture damage.



II. Exterior/Trim/Foundation

General Summary

Exterior Visual Findings

2. Due to the following but not limited to, a qualified licensed contractor should be consulted to further evaluate the entire exterior of the home, as there may be hidden or concealed damage that was unseen or could not be viewed at the time of inspection. Further evaluation is recommended before closing of escrow to completely understand the extent of any damage or repairs required or deemed necessary:

A. **Holes and/or cracks were noted in the vinyl siding and/or trim at or along the following elevations of the home, including but not limited to:**

-right

-left

-rear

This can allow moisture penetration to occur.

B. The vinyl siding does not have proper clearance from the roof surface. The Vinyl Siding Institute (<http://www.vinylsiding.org>) recommends at least 1/2 inch clearance between the vinyl siding trim and roofing materials where walls meet the roof. This allows the flashing to be seen & the expansion / contraction of the siding and trim due to temperature changes. The shingles may also transmit enough heat to the channel holding the vinyl siding to distort the channel. NOTE: the current installation prevents the inspector from determining if the roof/wall intersection is properly flashed as it would be behind the vinyl siding.

C. The exterior light fixtures are not sealed where they meet the exterior walls. This can allow moisture penetration to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.

D. Sealant is needed to prevent water and/or rodent intrusion where the phone/cable/electrical lines enter the home.

E. No weep holes were found above the windows and doors at the brick siding around the home. Weep holes are drilled hole, slots, or openings located around the foundation and above or below windows in brick veneer. The holes are used to permit moisture to drain that has gathered inside or behind a building component or allow water to escape that might otherwise accumulate in a window's sills and veneers.

F. Missing sealant or gaps in sealant were noted at the exterior siding, trim and/or door and window frames and thresholds. This can allow moisture penetration to occur.

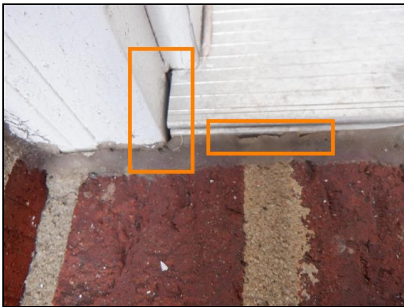
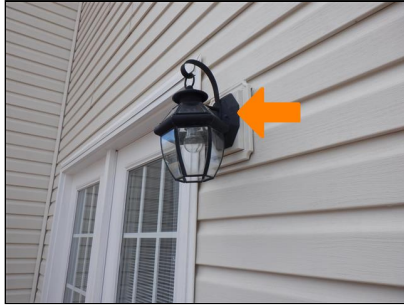
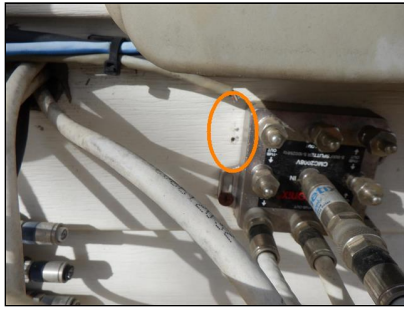
G. Moisture damage was noted at the rear exterior door and door trim/frame. Further damage may occur if not corrected.

H. There is a section of vinyl siding does not properly overlap at the right side of the, Because of this there is a gap between 2 pieces of siding. The gap has been filled with sealed. This should be considered a temporary fix and proper repairs should be made to prevent moisture penetration.

I. There is a damaged vent at the right side of the home. Further damage and moisture penetration may occur if not corrected.

NOTE: multiple repairs were made to the vinyl siding using sealant. Sealant repairs require continual monitoring and repair to prevent moisture penetration.







3. The condensate drains at the left elevation of the home terminate near the foundation, allowing them to deposit water near the foundation of the home. Water that is allowed to terminate near the foundation can cause and/or contribute to moisture and settlement related issues. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Foundation Visual Findings

4. Cracking was noted to the foundation at the rear, left and right sides of the garage. Further cracking/movement may occur if not corrected. Contact a licensed qualified structural engineer to further evaluate and make the necessary repairs.



5. The foundation vent(s) wells need to be cleaned out around the home to allow for adequate airflow into and out of the crawl space. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



III. Grounds/Pavings

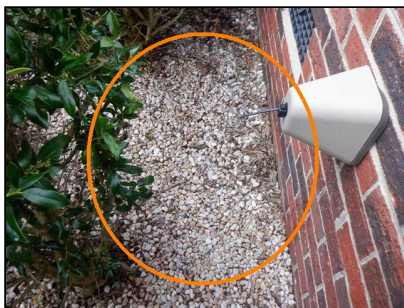
General Summary

Ground Area Visual Findings:

6. Areas of poor/negative grading were noted at the following elevations of the home, including but not limited to:

- front
- rear

Poor/negative grading can allow water to terminate near the foundation which can cause and/or contribute to moisture and settlement related issues. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



7. There are cracks noted at the driveway that need to be sealed and/or repaired properly to prevent water penetration and/or continual cracking. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



8. There are cracks noted at the front porch that need to be sealed and/or repaired properly to prevent water penetration and/or continual cracking. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



IV. Garage-Carport

General Summary

Garage Visual Findings

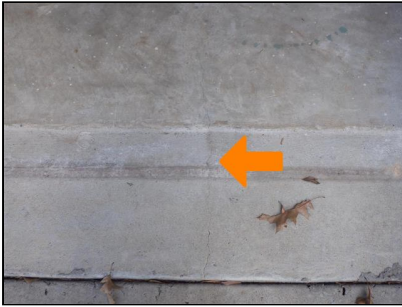
9. Holes and/or gaps were noted in the walls and/or ceiling within the garage. All holes and gaps, including around the water lines and any other wall or ceiling penetrations need to be properly sealed to maintain the proper fire rating between the home and garage and prevent possible carbon monoxide entry into the home. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



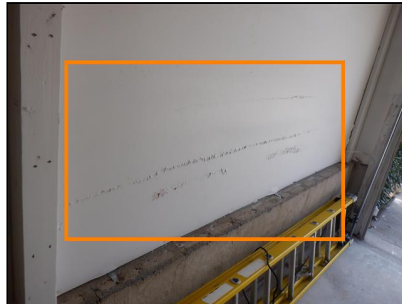
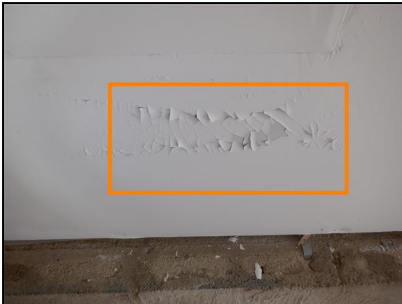
10. Daylight is visible around the garage door when it is closed. This can allow moisture and pest intrusion to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



11. There are cracks noted at the garage floor that need to be sealed and/or repaired properly to prevent water penetration and/or continual cracking. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



12. Peeling paint was noted at the garage walls. unable to determine the cause. Further evaluation is needed.



13. Damaged or loose weather stripping was noted at the garage doors. This can allow moisture and pest intrusion to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



V. Roof Systems

General Summary

Roof Visual Finding(s)

14. There is a nail protruding from the roof surface (nail pop). Corrections needed to prevent the nail from damaging the shingle and or allowing possible wind damage on **the front left corner of the home**. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Gutter Visual Finding(s)

15. The gutter drain is damaged at the rear right corner of the home. This can allow leakage to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Flashing Visual Finding(s)

16. There is a lifted flashing or shingle noted at the roof/wall intersection over the fireplace bump out at the rear of the home. This can increase the potential for leakage. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



17. There is/are no visible kick out flashing(s) at the base of the roof/wall intersections of the home. Missing kick out flashings can allow water from roof run off to get behind the exterior wall covering which can result in moisture damage to the wall assembly. Unable to determine if hidden or concealed damage exist at the time of inspection. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Fascia/Soffits/Eave Visual Finding(s)

18. Gaps were noted in the soffit at the front of the home. This can allow moisture and pest intrusion to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



VI. Attic Interior System

General Summary

Attic Visual Findings

19. Repairs were noted to the truss system in the attic. There was no structural engineers letter attached to the repairs as required. When a truss system is repaired or modified a structural engineers letter is required. Ask the sellers if they have a letter from a structural engineer for the repairs, if they do not then further evaluation by a structural engineer is needed.



20. There are warped trusses noted in the front area of the attic. This could be a sign of stress on the trusses or they may have been warped before installation. Further evaluation by a structural engineer is needed to determine if corrections are needed.



21. The furnace exhaust flue does not have proper clearance from combustible materials where it exits the attic. Corrections are needed to prevent a possible fire hazard. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



22. **There is no insulation installed on the back of the attic stairs.** This can result in a large source of heating and air loss, installation of insulation and weather stripping is needed to prevent heating and air loss. **The ???? exhaust flue does not have proper clearance from combustible materials where it exits the attic.** Corrections are needed to prevent a possible fire hazard. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



23. Daylight is visible between the roof sheathing and the fascia in the attic. This can allow moisture and pest intrusion to occur.

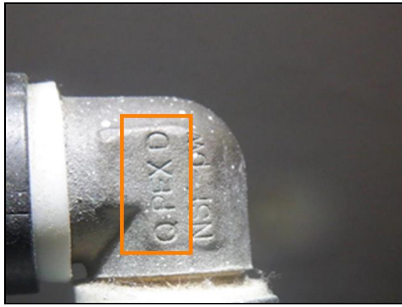


VII. Plumbing System

General Summary

Plumbing Conditions/Visual Findings

24. The visible plumbing lines in this home are plastic PEX with QPEX metal fittings manufactured by the Zurn Corporation. These plumbing fittings are the subject of a consumer class action lawsuit and settlement due to fitting failures related to dezincification. After years of consumer complaints, the Zurn Corporation has acknowledged that it has seen an increased number of premature failures and leaks in its QPEX fittings. Evidence of fitting deterioration was noted during the inspection in a few/several locations. A licensed plumbing contractor should be hired/consulted for a complete evaluation of the plumbing system to determine the general condition of the plumbing distribution and supply lines, the significance of this concern, and make all necessary and any additional repairs needed as deemed necessary. The client should visit the class action settlement website for more information, www.PlumbingFittingSettlement.com.



25. Discolored grout and elevated moisture levels were noted around the base of the toilets in the master, hall and 1/2 bathrooms. This may be evidence of leakage around the toilets. Further evaluation is needed to determine if leaks exist and if there is hidden or concealed damage. Contact a licensed qualified plumbing contractor to further evaluate and make the necessary repairs.



26. Corrosion was noted at connections and/or fitting at the copper gas lines. Have these areas further evaluated to ensure there is no risk of leakage.



Water Heater Conditions/Visual Findings

27. The water heater is missing a dielectric connection at the top of the tank where the hot and cold plumbing nipples connect to the supply lines. When two different types of metal connect together, it may cause corrosion and/or leakage to occur. A dielectric connection is recommended by the manufacturer and/or the home warranty companies to have the proper connections installed. Note: The manufacturer and/or home warranty companies may deny any repairs to the water heater if the supply lines are not properly installed. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Water Temperature Information

28. The hot water temperature at the time of inspection was 131 degrees. Water temperatures at or above 125 degrees can burn or scald. This is a safety hazard. The hot water temperature needs to be adjusted to below the current setting. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.

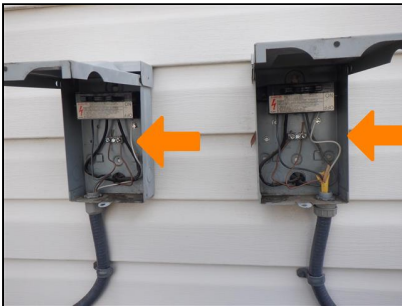


IX. Electrical System

General Summary

Electrical Visual Findings

29. The electrical panels behind the exterior HVAC units are missing internal covers. This can be dangerous as there is no protection from live electrical wiring when the outer cover is open/unlocked. An interior panel cover should be installed for safety reasons. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



30. There is a nail protruding through the back of the main electrical panel. This should be blunted, capped off or removed to prevent possible damage to electrical components within the panel. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



XI. Cooling System(s)

General Summary

Duct Visual Findings

31. Uneven temperature distribution and/or air flow was noted at the supply air registers when testing the HVAC system. Because of this some areas of the home may be noticeably warmer or cooler than the rest of the home. Some variation is to be expected between different air registers, however these variations should not be more than a few degrees difference between air registers located on the same floor. Contact a licensed qualified HVAC contractor to further evaluate and make the necessary repairs.



1st floor



1st floor



2nd floor



2nd floor

32. Discoloration was noted on the ceiling around the ducts. This may be an indication that the ducts are in need of cleaning. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



XII. Heating System

General Summary

Heating Component Visual Findings

- 33. Rusting/corrosion was noted inside both of the furnace cabinets in the attic.** This is evidence of a leak at or within the units. Unable to determine the source of the leak or the extent of damage at the time of inspection. Further damage may occur if not corrected. Contact a licensed qualified HVAC contractor to further evaluate and make the necessary repairs.

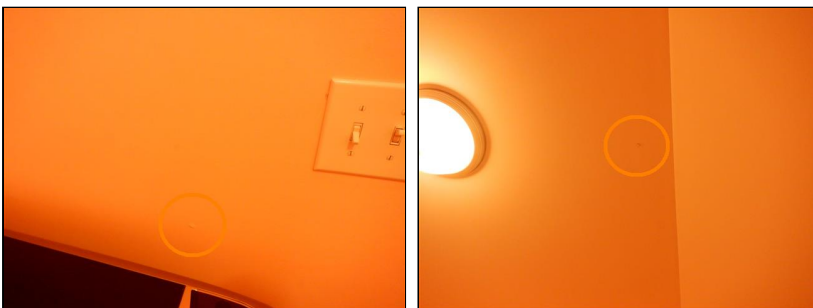


XIII. Interior Components

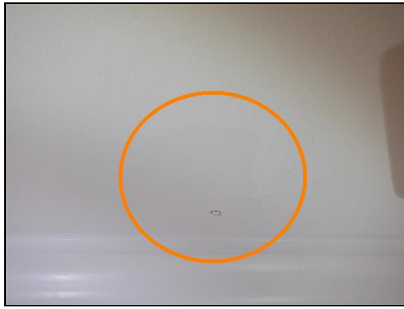
General Summary

Interior Component Conditions/Visual Findings

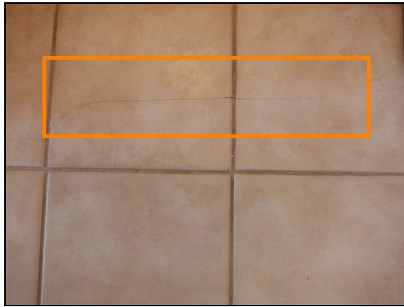
- 34. There are no carbon monoxide detectors installed or found on the 2nd floor of the home at the time of inspection.** Due to the gas fireplace/furnace/stove top/attached garage and/or gas appliances, a carbon monoxide detector(s) needs to be installed on each floor to ensure safety. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.
- 35. Nail pops and/or some cracking noted in the ceiling and/or walls throughout the home.** The nail pop and/or cracking are signs of normal settlement and are typically considered cosmetic. Continue to monitor to ensure movement does not occur.



- 36. Repairs have been made at the ceiling in rear living room.** Unable to determine what the need for repair was. The inspector did use a moisture meter in these areas to, however the moisture levels in these areas were not elevated at the time of inspection. Ask the seller the history of the repairs and if the repairs made have corrected or repaired the cause or need for the repair. If the seller is unaware the further evaluation is needed by a qualified professional.



37. Cracking was noted at the floor tiles between the laundry room and the kitchen/hall areas. Further cracking may occur if not corrected. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



38. There are door stops missing/damaged behind doors in areas throughout the home; replacement needed to prevent possible damage to the walls behind the doors.



39. The rear left bedroom door rubs the door frame. Corrections are needed to allow proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



40. One of the hall closet doors does not latch closed on the 2nd floor. Corrections are needed to allow proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



41. **The banister is loose at the top of the stairs that needs to be secured properly to ensure safety.** Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



42. **The handrail is loose at the interior stairways and needs to be secured properly to prevent it from coming loose and to ensure safety.** Contact a licensed qualified contractor to further evaluate and make the necessary repairs.

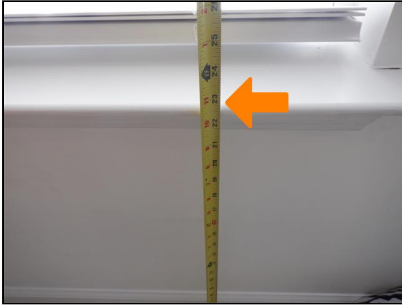


43. Loose grout and/or tiles were noted at the floor in the master bathroom. **Corrections are needed.** Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Window Visual Findings

44. **There are no child safety latches installed on some or all of the windows within the home that have a window sill that is less than 24" from the floor.** This poses a fall safety hazard at the window(s) especially for children. Child safety latches are required on all windows that are more than 72" above the exterior grade when the window sill is less than 24" from the interior floor (or 36" above the floor in some jurisdictions). Have a qualified licensed contractor further evaluate and make any additional repairs as needed or deemed necessary.



45. The following window(s) and/or sash(es) in the following areas (but not limited to) were noted to have bad or broken thermal seals at the time of inspection:

-bonus room

-family room

-bay windows

-office

Broken thermal seals allow the insulating gas between the panes of glass to escape, reducing the thermal efficacy of the window(s) this also allows moisture to collect between the panes of glass. Broken thermal seals can be extremely difficult to identify in the early stages or when other limiting factors are present like rainy or overcast weather and/or dirty windows. If one or several broken thermal seals are found in a home it is recommended that all of the windows be further evaluated by a licensed qualified contractor to ensure there are no additional broken thermal seals that were not identified at the time of inspection. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.

XIV. Master Bathroom

General Summary

Master Bathroom Visual Findings

46. The master bathroom faucet handles nearest the closet are stripped (spin all the way around). If the handles are not placed in the exact location the water will continue to drip, repair and or replacement needed. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



47. There is a chip in the master bath tub. Further damage and possible leakage may occur if not corrected. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



48. The master bath tub faucet has over spray when in use. Corrections are needed to allow proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



49. The toilet valve makes unusual noises when operating. Repair or replacement may be needed to ensure proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



50. The water closet door in the master bathroom does not latch closed. Corrections are needed to allow proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



XV. Half Bathroom

General Summary

Half Bathroom Visual Findings

51. **The sink stopper did not function properly** at the time of inspection. When fully engaged water still drains. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



XVI. Hall Bathroom

General Summary

Hall Bathroom Visual Findings

52. The tub drain stopper did not function properly or respond to the lever when testing at the time of inspection and needs repair or corrections. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



53. The faucet handle and or tub faucet are loose in the wall and need to be secured properly to prevent movement and possible leakage. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.

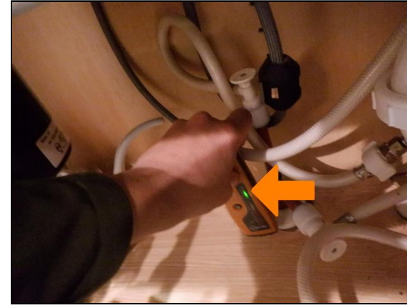


XVII. Kitchen-Appliances

General Summary

Kitchen Components Visual Findings

54. Evidence of a previous leak was noted under the kitchen sink. No active leakage was noted at the time of inspection and the moisture levels were not elevated in the cabinet under th sink when tested with a moisture meter. Ask the sellers the history of the stains and if repairs have been made to correct the leaks. If the sellers are unaware or no repairs were made the further evaluation is needed by a licensed plumbing contractor.



XVIII. Crawlspace

General Summary

Crawlspace Visual Findings

55. Due to the following (but not limited to) a licensed general contractor should be consulted to further evaluate entire framing, girders, and band sills and determine the full extent of the damage and/or if additional repairs are required or deemed necessary, as there may be additional defects that were concealed and/or otherwise unseen at the time of the original inspection. A licensed engineer that specializes in residential dwellings should be consulted for further evaluation of the entire foundation and make any additional recommendations as to the repairs required and for any additional repairs deemed necessary.

A. The bricks in some of the columns are turned where the voids are supporting the weight of the structure. The bricks are weakest in this position.

B. A floor joist has been cut to allow for the plumbing waste line in the front right area of the crawlspace. The cut may have compromised the structural integrity of the band sill as there is not a support or wall under the cut. Additional support may be required depending on the extent of the cut.

C. Moisture damage was noted to the sub floor and/or band sill along the rear of the home under the rear exterior door area. Further damage may occur if not corrected.

D. There is not support under an intersection where the front band sill and a girder meet at the front of the crawlspace. Further evaluation if this installation is needed to determine if corrections are needed to prevent possible movement.

E. Single stack of solid or open cell, 8x8x16 CMUs were observed to be stacked higher than 36 inches, as measured from the top of the footer to the top of the last concrete block. Typically concrete blocks are allowed a maximum height is 36 inches; however, there may be an exception to the rule depending on different construction methods. Because of this, it is recommended that you consult with a qualified licensed engineer to evaluate further and determine if the current installation is installed to support the structure of the home properly.





56. There are moisture stains noted along the back of the front, left and rear foundation walls in the crawl space. This is an indication that water is or has entered the crawl space at one point. Contact a licensed qualified contractor to further evaluate and determine if corrections are needed.



Thank you for trusting us to perform your home inspection. To show our appreciation for your business we have purchased a 90-day warranty on your behalf. To view information or download your 90-day, p [REDACTED]

If you have any questions regarding the home inspection report or the home itself, please don't hesitate to contact us at [REDACTED] email us [REDACTED] to set up a time to review your report. Our inspectors are always willing to help answer any questions that you might have!

For your convenience, we offer additional services to help you to better understand your home. Other services are outside the scope of your home inspection and require an additional charge. All extra services are independent of the home inspection. Additional services we offer are Radon Sampling, Mold Sampling, Water Sampling, Well inspections, Infrared inspections, and Termite Inspections. If you would like to add another service(s), please contact or office at [REDACTED]

Sincerely,

[REDACTED]

[REDACTED]

Complete Home Inspection Report

Exclusively for [REDACTED]

Including: Limitations, Recommendations, Material Types, and Additional Photos

Date:
3/19/2021



People present at the time of inspection:
Buyer(s), Buyers Agent

Building Type:
Single Family.

Utilities Status:
All utilities on

Outside Temperature (F):
40-50 Degrees

House Occupancy/Limitations:
The home was occupied at the time of inspection. When a home is occupied with furniture, clothing, and other stored items, it can obstruct the view and access to walls, receptacle outlets, under sinks, etc.

INSPECTION INFORMATION

The summary section is **NOT** the entire report.

THIS REPORT WAS INTENDED TO BE VIEWED IN COLOR.

The complete report may include additional information of great concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the responsibility of any item in this report under the real estate purchase contract, contact [REDACTED]

IMPORTANT - Due to the findings or defects stated within the report. A qualified licensed contractor who specializes in the respective fields of our findings or defects listed should be consulted to evaluate any and all findings or defects further. To determine the full extent of any damage(s) and or determine if additional repairs are required, which may be deemed necessary by the qualified licensed contractor. There may be other defects concealed and or otherwise unseen at the time of the initial inspection.

Further evaluation is recommended before the close of escrow on the home, due diligence, and or contingency period, whichever comes first, to thoroughly understand the extent of the damage(s) and the full extent of the repairs needed, required, or deemed necessary by the qualified licensed contractor.

Please understand this is a **visual inspection only**. The report provided is intended only as a general guide to help you make your own evaluation of the overall condition of the home. This inspection is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. 05.29.5.0

I. Deck(s)/Patio(s)/Porches

DECK INFORMATION

Decks and porches are often built close to the ground, where no viewing or access is possible. Any areas too low to enter or not accessible are excluded from the inspection. There is no inspection and/or evaluation or moving of landscape components such as but not limited to trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting.

Types & Descriptions

Deck Materials:

- Wood Columns
- Wood Framing
- Wood Decking

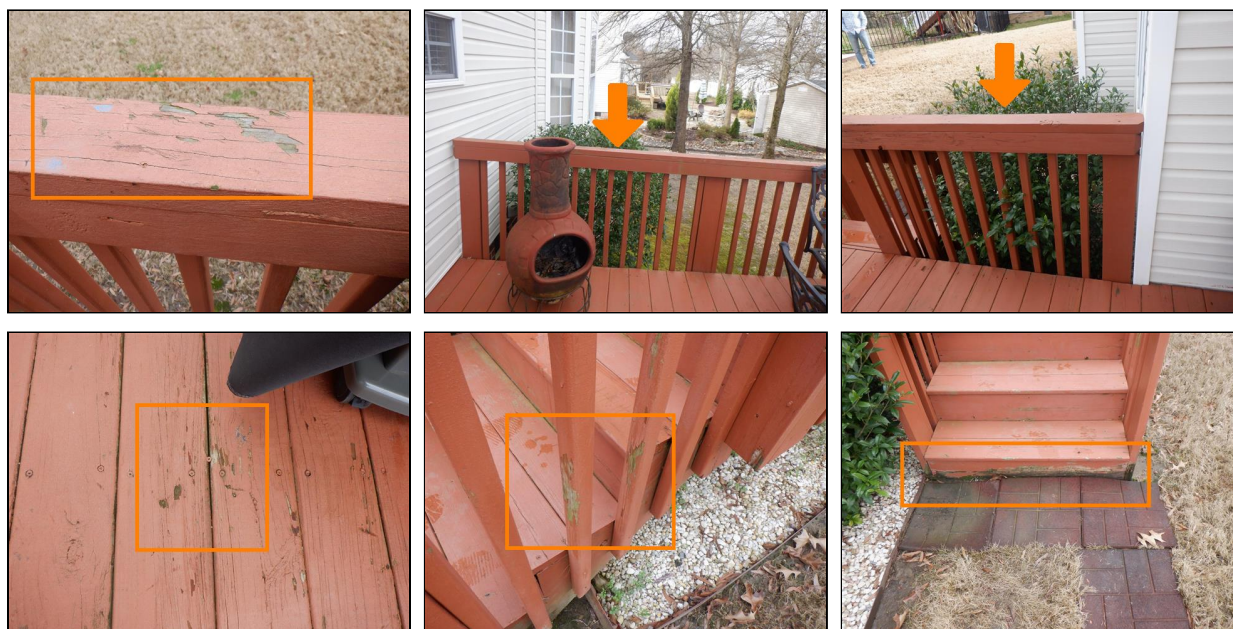
Items

1.0 Deck/Patio/Porch Visual Findings

Component was inspected and/or operated.

Due to the following but not limited to, a qualified licensed contractor should be consulted to further evaluate the deck systems and/or components, as there may be hidden or concealed damage that was unseen or could not be viewed at the time of inspection. Further evaluation is recommended before closing of escrow to completely understand the extent of any damage or repairs required or deemed necessary:

- A. Loose railing was noted at the rear deck. Corrections are needed to improve safety.
- B. The railing is supported with 2x6 boards instead of using posts. This can increase the potential for movement in the railing.
- C. Moisture damage was noted at the bottom of the stairs. Further damage may occur if not corrected.
- D. Missing or peeling paint was noted at the rear deck. Corrections are needed to protect the wood from moisture damage.



II. Exterior/Trim/Foundation

EXTERIOR INFORMATION

In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified licensed engineer that specializes in residential dwellings. The inspection will certainly alert you to any suspicious cracks if they are clearly visible. We are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, an engineer that specializes in residential dwellings, or a geologist, but this should not deter you from seeking the opinion of any such expert. It is also routinely recommended that inquiry is made with the seller about knowledge of any prior foundation or structural repairs.

All items that are freshly painted including, but not limited to, trim, exterior siding, fascia, and soffit cannot be fully or completely viewed to determine if wood rot exists. Have the seller disclose any recent repairs or painting to determine if any damage has been hidden or concealed before the close of escrow on the home.

Types & Descriptions

Siding Types:	Stories/Foundation:
Vinyl Siding	2 Stories on a Crawlspace
Brick Veneer	Foundation

Items

2.0 Exterior Visual Findings

Component was inspected and/or operated.

Due to the following but not limited to, a qualified licensed contractor should be consulted to further evaluate the entire exterior of the home, as there may be hidden or concealed damage that was unseen or could not be viewed at the time of inspection. Further evaluation is recommended before closing of escrow to completely understand the extent of any damage or repairs required or deemed necessary:

A. Holes and/or cracks were noted in the vinyl siding and/or trim at or along the following elevations of the home, including but not limited to:

-right

-left

-rear

This can allow moisture penetration to occur.

B. The vinyl siding does not have proper clearance from the roof surface. The Vinyl Siding Institute (<http://www.vinylsiding.org>) recommends at least 1/2 inch clearance between the vinyl siding trim and roofing materials where walls meet the roof. This allows the flashing to be seen & the expansion / contraction of the siding and trim due to temperature changes. The shingles may also transmit enough heat to the channel holding the vinyl siding to distort the channel. NOTE: the current installation prevents the inspector from determining if the roof/wall intersection is properly flashed as it would be behind the vinyl siding.

C. The exterior light fixtures are not sealed where they meet the exterior walls. This can allow moisture penetration to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.

D. Sealant is needed to prevent water and/or rodent intrusion where the phone/cable/electrical lines enter the home.

E. No weep holes were found above the windows and doors at the brick siding around the home. Weep holes are drilled hole, slots, or openings located around the foundation and above or below windows in brick veneer. The holes are used to permit moisture to drain that has gathered inside or behind a building component or allow water to escape that might otherwise accumulate in a window's sills and veneers.

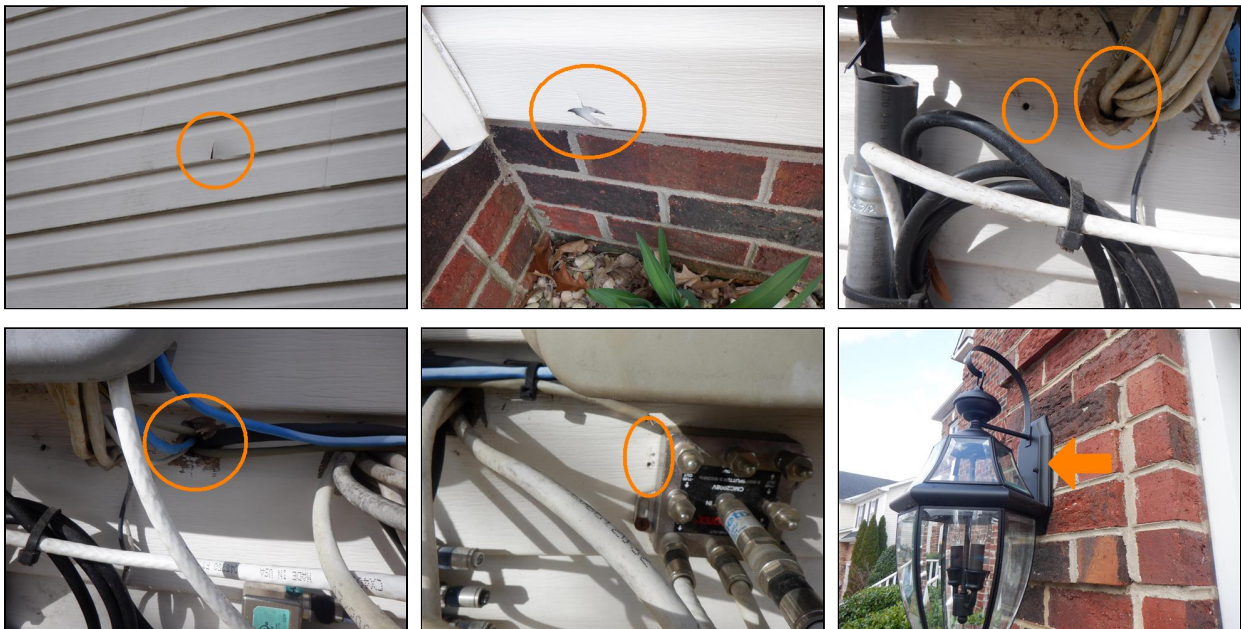
F. Missing sealant or gaps in sealant were noted at the exterior siding, trim and/or door and window frames and thresholds. This can allow moisture penetration to occur.

G. Moisture damage was noted at the rear exterior door and door trim/frame. Further damage may occur if not corrected.

H. There is a section of vinyl siding does not properly overlap at the right side of the, Because of this there is a gap between 2 pieces of siding. The gap has been filled with sealed. This should be considered a temporary fix and proper repairs should be made to prevent moisture penetration.

I. There is a damaged vent at the right side of the home. Further damage and moisture penetration may occur if not corrected.

NOTE: multiple repairs were made to the vinyl siding using sealant. Sealant repairs require continual monitoring and repair to prevent moisture penetration.







The condensate drains at the left elevation of the home terminate near the foundation, allowing them to deposit water near the foundation of the home. Water that is allowed to terminate near the foundation can cause and/or contribute to moisture and settlement related issues. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



2.1 Trim Visual Findings

Component was inspected and/or operated.

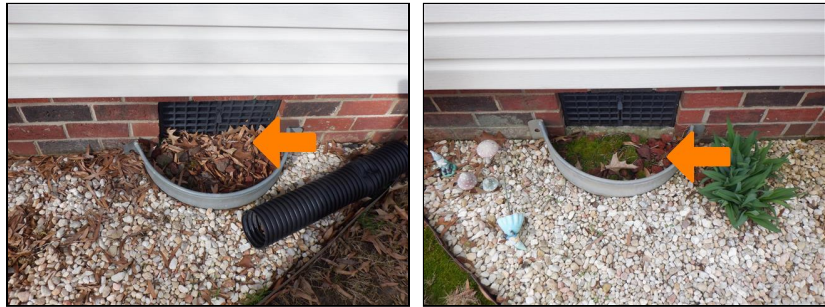
2.2 Foundation Visual Findings

Component was inspected and/or operated.

Cracking was noted to the foundation at the rear, left and right sides of the garage. Further cracking/movement may occur if not corrected. Contact a licensed qualified structural engineer to further evaluate and make the necessary repairs.



The foundation vent(s) wells need to be cleaned out around the home to allow for adequate airflow into and out of the crawl space. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



III. Grounds/Pavings

GROUNDS INFORMATION

This inspection is not intended to address or include any geological conditions or site stability information. There are no comments or reporting on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed portions around the foundation or exterior walls. The inspection and/or evaluation are not made on any mechanical or remotely controlled components such as driveway gates.

Items

3.0 Ground Area Visual Findings:

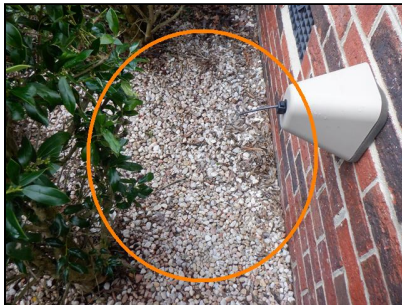
Component was inspected and/or operated.

Areas of poor/negative grading were noted at the following elevations of the home, including but not limited to:

-front

-rear

Poor/negative grading can allow water to terminate near the foundation which can cause and/or contribute to moisture and settlement related issues. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



There are cracks noted at the driveway that need to be sealed and/or repaired properly to prevent water penetration and/or continual cracking. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



There are cracks noted at the front porch that need to be sealed and/or repaired properly to prevent water penetration and/or continual cracking. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



IV. Garage-Carport

GARAGE INFORMATION

Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas. It is not uncommon for moisture to penetrate garages, particularly with slabs-on-grade construction, and this may be apparent in the form of efflorescence or salt crystal formations on the concrete. This inspection does not include the inspection of detached garages, however, if a detached garage was inspected without additional costs it was inspected as a courtesy and should not be considered a part of the home inspection as it is not attached to the main structural inspection of the home.

Types & Descriptions

Reverse Tension Tested:

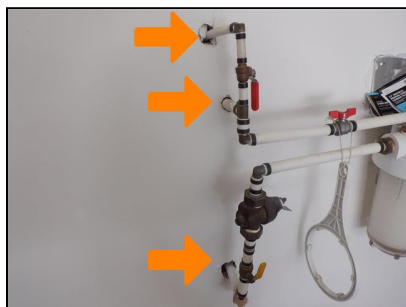
No

Items

4.0 Garage Visual Findings

Component was inspected and/or operated.

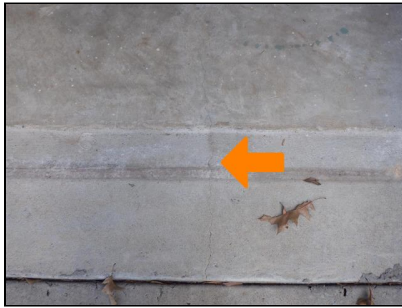
Holes and/or gaps were noted in the walls and/or ceiling within the garage. All holes and gaps, including around the water lines and any other wall or ceiling penetrations need to be properly sealed to maintain the proper fire rating between the home and garage and prevent possible carbon monoxide entry into the home. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



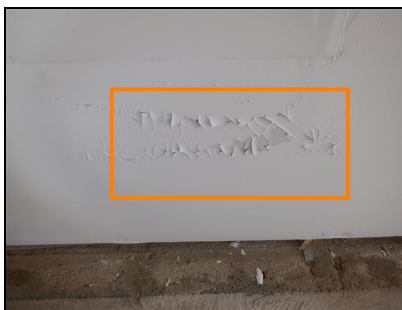
Daylight is visible around the garage door when it is closed. This can allow moisture and pest intrusion to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



There are cracks noted at the garage floor that need to be sealed and/or repaired properly to prevent water penetration and/or continual cracking. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Peeling paint was noted at the garage walls. unable to determine the cause. Further evaluation is needed.



Damaged or loose weather stripping was noted at the garage doors. This can allow moisture and pest intrusion to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



4.1 Garage Limitations

The garage walls, foundation and/or floor were not fully visible due to stored items along the walls and floor in the garage. Due to the stored items obstructing the viewing of the walls, floor and foundation within the garage, the inspector cannot determine if there is hidden or concealed damage or defects in the garage that may have been obstructed at the time of inspection. The conditions in the obstructed areas are unknown at the time of inspection. It is recommended that all of the stored items be removed from the garage so that a qualified professional can further evaluate the conditions within the garage before the closing or due diligence date as there may be hidden or concealed damage.

V. Roof Systems

ROOF INFORMATION

Although not required, we generally attempt to evaluate various roof types by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method used to evaluate them. Every roof will wear differently relative to its age, the number of layers, quality of material, the method of application, exposure to weather conditions, and the regularity of its maintenance. The inspection provided is visual only and the opinion of the general quality and condition of the roofing material can be subjective. Any and all additional concerns should be addressed by a qualified licensed roofing contractor.

Every roof is inspected conscientiously; the remaining life expectancy, or guarantee that it will not leak, cannot and will not be provided by the inspector. It is recommended that you ask the sellers to disclose any information pertaining to repairs, leaks, and/or any additional information. Attached accessories including, but not limited to, solar systems, antennae, and lightning arrestors are not inspected.

Types & Descriptions

Roof Covering Materials:

Asphalt Shingles

Roof Access:

Due to the pitch, height, or the discretion of the inspector, the roof was viewed from the ground with binoculars. It is at the discretion of the inspector to climb and/or walk on the roof as it is not a requirement to do so.

Items

5.0 Roof Visual Finding(s)

Component was inspected and/or operated.

There is a nail protruding from the roof surface (nail pop). Corrections needed to prevent the nail from damaging the shingle and or allowing possible wind damage on **the front left corner of the home**. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



5.1 Gutter Visual Finding(s)

Component was inspected and/or operated.

The gutter drain is damaged at the rear right corner of the home. This can allow leakage to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



5.2 Flashing Visual Finding(s)

Component was inspected and/or operated.

There is a lifted flashing or shingle noted at the roof/wall intersection over the fireplace bump out at the rear of the home. This can increase the potential for leakage. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



There is/are no visible kick out flashing(s) at the base of the roof/wall intersections of the home. Missing kick out flashings can allow water from roof run off to get behind the exterior wall covering which can result in moisture damage to the wall assembly. Unable to determine if hidden or concealed damage exist at the time of inspection. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.





5.3 Fascia/Soffits/Eave Visual Finding(s)

Component was inspected and/or operated.

Gaps were noted in the soffit at the front of the home. This can allow moisture and pest intrusion to occur. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



5.4 Recommendations/Information

The downspouts drain into an underground system. Unable to determine where the gutters empty and if they are draining properly.

5.5 Roof Limitations/Restrictions

Due to the complex designs, not all areas of the roof shingles or flashing could be viewed. Valleys of connecting roof lines, dormers and bump outs hide some areas of the roof and siding from being able to be seen during a home inspection. (These areas were not inspected and no claims can be made to their condition as they were not viewed at the time of inspection).

Due to the height of the home, the gutters could not be viewed from the top. Underground drainage from gutters or a drainage system is not inspected at the time of inspection, as this is beyond the scope of a normal home inspection.

VI. Attic Interior System

ATTIC INFORMATION

In accordance with our standards, attics that have less than thirty-six inches of headroom are not inspected, area restricted by ducts are not inspected, or in which the insulation obscures the joists and thereby makes mobility hazardous are not inspected, in which case the attic is inspected to the best of the inspectors ability from the access point. In regard to evaluating the type of insulation in the attic and on the attic floor, we do not sample or test the material for specific identification. Also, insulation is not disturbed or moved which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and/or other components.

Due to pitch and/or height of the outer edges and corners cannot be viewed within the attic areas, These areas could not be fully viewed or inspected at the time of inspection and no claims could be made to the conditions and/or structure of these areas. The insulation in the attic obstructs viewing of the ceiling below while covering the framing and any electrical components throughout the attic area. Due to the insulation NOT being moved as this would disrupt the insulation from its original state, the conditions of the framing, ceiling below, electrical components, and any other areas or items that are covered or blocked by the insulation could not be viewed and no claims could be made as to the structure or conditions of the covered areas.

Types & Descriptions

Framing and Component Types:

Both a rafter system and a truss system was noted within the attic of the home.

Unfinished Area Insulation Type(s):

Blown Fiberglass

Attic Location(s):

Main Attic above the majority or entire home.

Fire Place Bump out - This area was not inspected as there is not an access point for the attic in this location, no claims can be made to the condition(s) and structure within this area.

Rear bay window - This area was not inspected as there is not an access point for the attic in this location, no claims can be made to the condition(s) and structure within this area.

Items

6.0 Attic Visual Findings

Component was inspected and/or operated.

Repairs were noted to the truss system in the attic. There was no structural engineers letter attached to the repairs as required. When a truss system is is repaired or modified a structural engineers letter is required. Ask the sellers if they have a letter from a structural engineer for the repairs, if they do not then further evaluation by a structural engineer is needed.



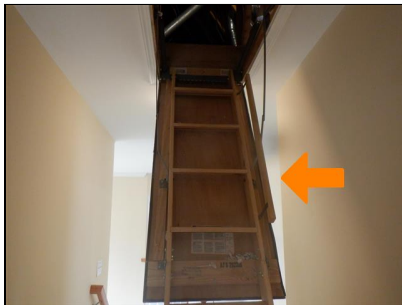
There are warped trusses noted in the front area of the attic. This could be a sign of stress on the trusses or they may have been warped before installation. Further evaluation by a structural engineer is needed to determine if corrections are needed.



The furnace exhaust flue does not have proper clearance from combustible materials where it exits the attic. Corrections are needed to prevent a possible fire hazard. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



There is no insulation installed on the back of the attic stairs. This can result in a large source of heating and air loss, installation of insulation and weather stripping is needed to prevent heating and air loss. **The ???? exhaust flue does not have proper clearance from combustible materials where it exits the attic.** Corrections are needed to prevent a possible fire hazard. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Daylight is visible between the roof sheathing and the fascia in the attic. This can allow moisture and pest intrusion to occur.



VII. Plumbing System

PLUMBING INFORMATION

Water quality or hazardous materials testing is available however is not included with this inspection unless added as an additional service. Underground piping related to water supply, waste, sprinkler, as well as drainage systems is excluded from this inspection. The presence of mineral build-up that may gradually restrict their inner diameter and reduce water volume cannot be inspected.

The water main shut off valve, and shut off valves under sinks and behind toilets is not tested. By turning the valves it may cause them to leak causing damage to the property. Because of this, shut off valves are not turned, tested, or operated.

The inspection does not assure that the plumbing systems of the home will meet the demands of a family when in use.

Types & Descriptions

Visible Plumbing Materials: PEX PVC	Plumbing Vent Pipe Material Type(s): PVC	Water Heater Power Source: Gas
Water Heater Ventilation Type: Direct Vent	Water Heater Capacity: 50 Gallons	Water Heater Location: Garage

Main Water Shut Off Location:

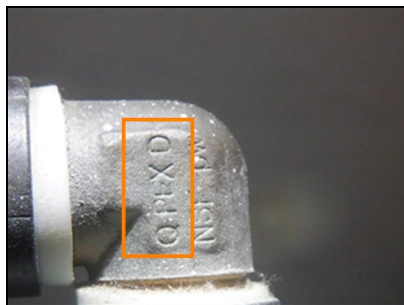
The garage wall - The main water line was not visible due to finished areas.

Items

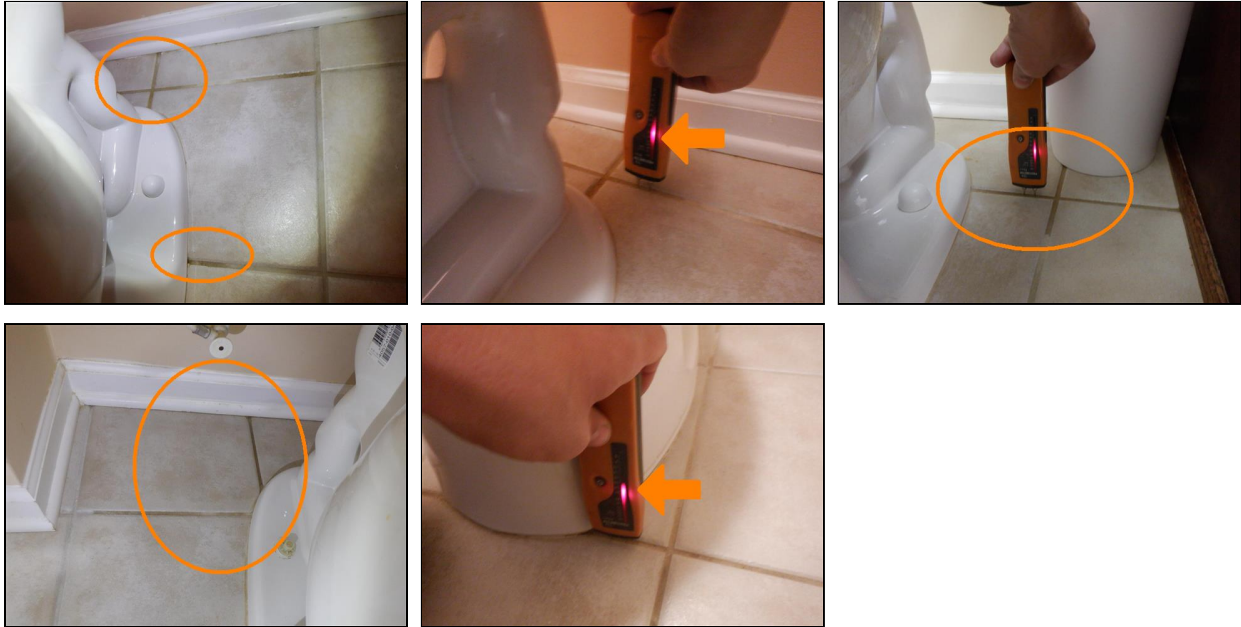
7.0 Plumbing Conditions/Visual Findings

Component was inspected and/or operated.

The visible plumbing lines in this home are plastic PEX with QPEX metal fittings manufactured by the Zurn Corporation. These plumbing fittings are the subject of a consumer class action lawsuit and settlement due to fitting failures related to dezincification. After years of consumer complaints, the Zurn Corporation has acknowledged that it has seen an increased number of premature failures and leaks in its QPEX fittings. Evidence of fitting deterioration was noted during the inspection in a few/several locations. A licensed plumbing contractor should be hired/consulted for a complete evaluation of the plumbing system to determine the general condition of the plumbing distribution and supply lines, the significance of this concern, and make all necessary and any additional repairs needed as deemed necessary. The client should visit the class action settlement website for more information, www.PlumbingFittingSettlement.com.



Discolored grout and elevated moisture levels were noted around the base of the toilets in the master, hall and 1/2 bathrooms. This may be evidence of leakage around the toilets. Further evaluation is needed to determine if leaks exist and if there is hidden or concealed damage. Contact a licensed qualified plumbing contractor to further evaluate and make the necessary repairs.



Corrosion was noted at connections and/or fitting at the copper gas lines. Have these areas further evaluated to ensure there is no risk of leakage.



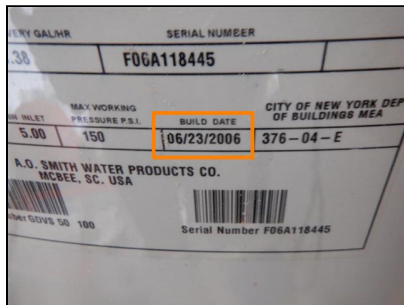
7.1 Water Heater Conditions/Visual Findings

Component was inspected and/or operated.

The water heater is missing a dielectric connection at the top of the tank where the hot and cold plumbing nipples connect to the supply lines. When two different types of metal connect together, it may cause corrosion and/or leakage to occur. A dielectric connection is recommended by the manufacturer and/or the home warranty companies to have the proper connections installed. Note: The manufacturer and/or home warranty companies may deny any repairs to the water heater if the supply lines are not properly installed. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



The water heater appears to be above ten years of age. The lifespan of a typical water heater is noted to be 10-15 years for an electric water heater and 15-18 years for a gas water heater. The lifespan can depend on several things: the condition of the water; if the water heater is maintained properly; the location of the water heater (crawl space, interior closet, garage, etc.); and several other factors. Due to additional factors, it is impossible to determine the lifespan of the water heater(s) currently installed and/or the additional years left for the water heater.



7.2 Water Temperature Information

Component was inspected and/or operated.

The hot water temperature at the time of inspection was 131 degrees. Water temperatures at or above 125 degrees can burn or scald. This is a safety hazard. The hot water temperature needs to be adjusted to below the current setting. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



VIII. Laundry Area

LAUNDRY INFORMATION

Washer and dryers are not tested at the time of inspection as this is beyond the scope of a home inspection. The 220v electric dryer hookup, if so equipped is not tested during a normal home inspection. If washer and dryers are installed in the laundry room viewing of the wall and/or inspect the washer and dryer hookups cannot be completed due to the washer and dryer blocking the wall and hookups. No claims can be made regarding the condition of the wall and hookups.

Items

8.0 Laundry Area Visual Findings

Component was inspected and/or operated.

8.1 Laundry Area Limitations

Unable to view the walls, flooring, and piping at the time of inspection due to the washing machine and/or dryer being installed obstructing viewing of these areas. No claims can be made to the condition of these areas at the time of inspection.

IX. Electrical System

ELECTRICAL INFORMATION

Load-calculations are not performed to determine if the supply meets the demand. Any electrical repairs or upgrades should be made by a licensed electrical contractor. Aluminum wiring requires periodic inspection and maintenance by a licensed electrical contractor. Smoke Alarms should be installed within 15 feet of all bedroom doors and tested regularly.

Types & Descriptions

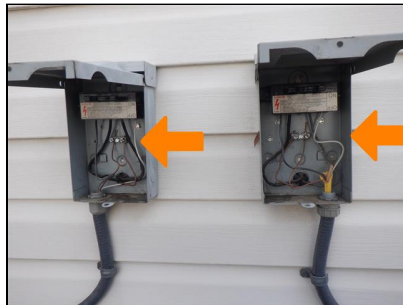
Panel Location(s): Garage	Main Power Panel Size: 200 amp service	Service Entry Conductor Type: Aluminum
Service Voltage: The incoming electrical service to the structure is 120/240 volts, with circuit breakers.	Branching Circuit Wiring Type: Branching Copper Wiring with Aluminum on (220) appliances.	Service Type: Underground

Items

9.0 Electrical Visual Findings

Component was inspected and/or operated.

The electrical panels behind the exterior HVAC units are missing internal covers. This can be dangerous as there is no protection from live electrical wiring when the outer cover is open/unlocked. An interior panel cover should be installed for safety reasons. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



There is a nail protruding through the back of the main electrical panel. This should be blunted, capped off or removed to prevent possible damage to electrical components within the panel. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



9.1 Electrical Limitations

Storage items and/or large furniture is not moved to check outlets or switches. If a receptacle is not working check a control switch. It is common for homes to have receptacles installed that are controlled by a control (light) switch. All switches that can be accessed are tested for what they control. Often some switches will be on a 3 or 4 way light switch. It is impossible during the time frame of a home inspection to test all switches in all their possible on/off combinations. Wiring inside walls, conduit, underground, or and any concealed areas that cannot be viewed are not inspected at the time of inspection.

There are stored items throughout the home that prevent access and testing at some outlets and switches. Because of this not all outlets and switches could be tested at the time of inspection. The conditions of the outlets that were not tested are unknown at the time of inspection, no claims could be made as to whether they function properly.

X. HVAC System(s) Information

HVAC System(s) Information and Limitations

The interior AC coil(s) are not inspected as they could not be viewed at the time of inspection due to being taped sealed/closed. The fan units operated when testing (if temperature permits), but the interior was not visually observed. No claims could be made to the condition of the interior of the unit as this would require a complete invasive inspection of the unit, which is beyond the scope of a home inspection.

During this inspection, it is impossible to determine the condition of the interior of the flue/vents. The interior of the flue/vents may be deteriorated, but during a visual inspection, the interior walls were not inspected as this would require disassembly.

The interior heat unit portion of the heating system(s) is difficult to view or access without disassembly, and cannot be adequately checked during a visual inspection as disassembly is required. It is recommended that the unit is serviced yearly to ensure the unit operates and functions efficiently.

If the unit(s) are older than 10 years or if the age or the age is unknown, it is highly recommended that the unit(s) have a complete invasive inspection of the entire unit by a licensed HVAC contractor. Ask the seller for disclosure on any previously required services and/or repairs that have been previously made to the unit and routine servicing. If the home is vacant or in foreclosure, a complete invasive inspection of the entire unit by a licensed HVAC contractor is strongly recommended before the closing of escrow on the home.

Types & Descriptions

Air Conditioning Type(s): Central Split System(s)	Power Source: Electric 220 Volt	Heating Type(s): Forced Air Unit(s)
Fuel/Power Source(s): Natural Gas	Ducts/Air Supply Types: Fiberglass Duct Board: Flexible round duct work	Access Panel(s) Removed during visual inspection?: Yes

Items

10.0 Air Temp Drop Differential

Component/item was not inspected due to limitation

10.1 Return and Supply Air Temp

Component/item was not inspected due to limitation

10.2 Gas Heat

Component was inspected and/or operated.

Second Floor Heat - 133-122 Degrees.



Primary Heat - 120-129 Degrees.



During this inspection, it is impossible to determine the condition of the interior of the ductwork or vent systems. The interior of the ductwork or vent systems may be deteriorated, but during a visual inspection, the interior walls were not inspected as this would require disassembly. Please also Note: During the home inspection the home is not inspected for mold, mildew, or other organic growth. We are not mold inspectors and are not certified in identifying types of mold within the home.

Some types of organic growth are common and/or natural to see within the home, however, dirty ductwork and high moisture levels around the duct work this may indicate, but does not guarantee, an organic growth problem. Many factors are needed to have excessive growth within or under a home and/or within duct systems. If mold, mildew, or other organic growth is a concern have a licensed or certified fungus specialist further evaluate to determine if the type of fungus within the ductwork is dangerous and determine if removal is needed.

XI. Cooling System(s)

HVAC INFORMATION

Even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations made for service or further evaluation be scheduled before the close of escrow, as a licensed specialist may reveal additional defects or recommend further upgrades that could affect your evaluation of the property, as our service does not include any form of warranty or guarantee.

On January 1, 2010, the Environmental Protection Agency (EPA) implemented a ban on the production and import of R22, except for continuing servicing needs of existing equipment. On January 1, 2020, R22 becomes illegal to purchase. As a result, repairing older R22 systems will become very expensive when the repair requires adding refrigerant to the system. If repair is needed, you may want to consider a replacement if the current AC unit was built before 2010. For more information please [click here](#).

Items

11.0 Air Conditioner Visual Findings

Component was inspected and/or operated.

11.1 Duct Visual Findings

Component was inspected and/or operated.

Uneven temperature distribution and/or air flow was noted at the supply air registers when testing the HVAC system. Because of this some areas of the home may be noticeably warmer or cooler than the rest of the home. Some variation is to be expected between different air registers, however these variations should not be more than a few degrees difference between air registers located on the same floor. Contact a licensed qualified HVAC contractor to further evaluate and make the necessary repairs.



1st floor



1st floor



2nd floor



2nd floor

Discoloration was noted on the ceiling around the ducts. This may be an indication that the ducts are in need of cleaning. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



11.2 HVAC Limitations

Unable to operate the exterior AC unit equipment or systems due to low exterior temperatures. Winter inspections only include a visual inspection of the air condition system(s). The AC units job is to cool the home when temperatures are below 60 degrees; the home is already cooled and the unit will not cool properly or give a false reading. If the exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation, this may damage the equipment. With exterior temperatures below 60 degrees, the unit(s) cannot be inspected and no other part of that unit(s)/component(s) can be inspected for efficiency, operation, and/or functionality of the unit(s)/component(s). All unit(s)/component(s) require the proper source(s) to determine the efficiency, operation, and/or functionality of the unit(s)/component(s). The home inspector can not determine if an AC system will function as intended during the winter inspection and the operation of the system could result in component damage. At the time of the inspection, the home inspector develops no conclusions concerning whether or not the system will function or adequately cool the home during the summer season.

XII. Heating System

HVAC INFORMATION

Even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations made for service or further evaluation be scheduled before the close of escrow, as a licensed specialist may reveal additional defects or recommend further upgrades that could affect your evaluation of the property, as our service does not include any form of warranty or guarantee.

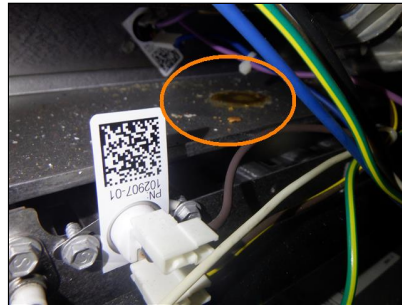
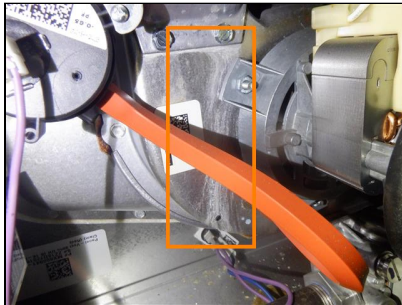
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Items

12.0 Heating Component Visual Findings

Component was inspected and/or operated.

Rusting/corrosion was noted inside both of the furnace cabinets in the attic. This is evidence of a leak at or within the units. Unable to determine the source of the leak or the extent of damage at the time of inspection. Further damage may occur if not corrected. Contact a licensed qualified HVAC contractor to further evaluate and make the necessary repairs.



XIII. Interior Components

INTERIOR INFORMATION

The inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard, as these may be caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist.

It is recommended that smoke/carbon monoxide detector(s) be replaced after moving in the home and every five years; homes that do not have carbon monoxide detectors already installed should have one installed on every floor for safety.

All items that are freshly painted including, but not limited to walls and ceilings cannot be fully or completely viewed to determine if water damage exists. Have the seller disclose any recent repairs or painting to determine if any damage has been hidden or concealed before the close of escrow on the home.

When building components have surface discolorations and decay typical of fungal growths, such as mold, mildew, and wood destroying fungi, the home inspection focuses only on moisture concerns and evidence of wood damage. Health issues related to the presence of mold are beyond the scope of the home inspection. If the client has concerns beyond the scope of the home inspection, a certified professional such as an industrial hygienist should be consulted prior to purchasing the home.

Types & Descriptions

Smoke Detectors: Battery Operated	Carbon Monoxide Detector(s): Battery Operated	Fireplace Location(s): Living Room
Fireplace Type(s): Prefabricated Insert with Vented Natural Gas Logs.	Wall Structure Type(s): Not Accessible	Ceiling Structure Type(s): Not Accessible
Flooring Structure Type(s): Not Accessible		

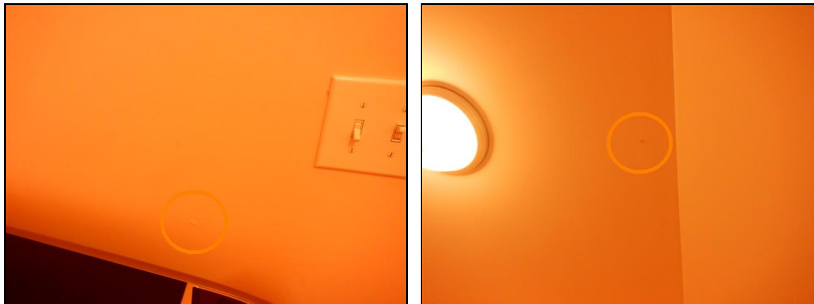
Items

13.0 Interior Component Conditions/Visual Findings

Component was inspected and/or operated.

There are no carbon monoxide detectors installed or found on the 2nd floor of the home at the time of inspection. Due to the gas fireplace/furnace/stove top/attached garage and/or gas appliances, a carbon monoxide detector(s) needs to be installed on each floor to ensure safety. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.

Nail pops and/or some cracking noted in the ceiling and/or walls throughout the home. The nail pop and/or cracking are signs of normal settlement and are typically considered cosmetic. Continue to monitor to ensure movement does not occur.



Repairs have been made at the ceiling in rear living room. Unable to determine what the need for repair was. The inspector did use a moisture meter in these areas to, however the moisture levels in these areas were not elevated at the time of inspection. Ask the seller the history of the repairs and if the repairs made have corrected or repaired the cause or need for the repair. If the seller is unaware the further evaluation is needed by a qualified professional.



Cracking was noted at the floor tiles between the laundry room and the kitchen/hall areas. Further cracking may occur if not corrected. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



There are door stops missing/damaged behind doors in areas throughout the home; replacement needed to prevent possible damage to the walls behind the doors.



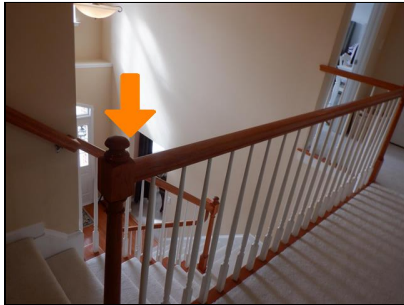
The rear left bedroom door rubs the door frame. Corrections are needed to allow proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



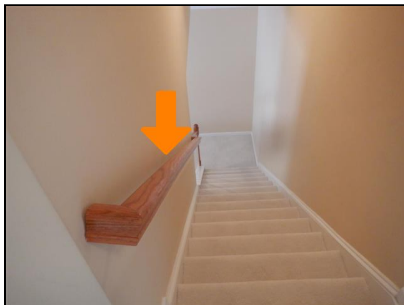
One of the hall closet doors does not latch closed on the 2nd floor. Corrections are needed to allow proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



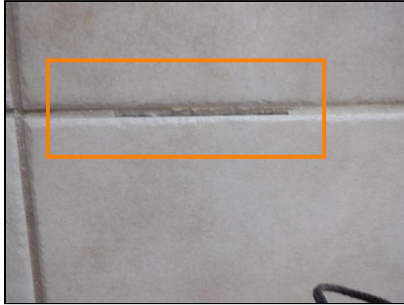
The banister is loose at the top of the stairs that needs to be secured properly to ensure safety. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



The handrail is loose at the interior stairways and needs to be secured properly to prevent it from coming loose and to ensure safety. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



Loose grout and/or tiles were noted at the floor in the master bathroom. **Corrections are needed.** Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



13.1 Fireplace/Firebox/Gas Log Conditions/Visual Findings

Component was inspected and/or operated.

13.2 Window Visual Findings

Component was inspected and/or operated.

There are no child safety latches installed on some or all of the windows within the home that have a window sill that is less than 24" from the floor. This poses a fall safety hazard at the window(s) especially for children. Child safety latches are required on all windows that are more than 72' above the exterior grade when the window sill is less than 24' from the interior floor (or 36" above the floor in some jurisdictions). Have a qualified licensed contractor further evaluate and make any additional repairs as needed or deemed necessary.



The following window(s) and/or sash(es) in the following areas (but not limited to) were noted to have bad or broken thermal seals at the time of inspection:

-bonus room

-family room

-bay windows

-office

Broken thermal seals allow the insulating gas between the panes of glass to escape, reducing the thermal efficacy of the window(s) this also allows moisture to collect between the panes of glass. Broken thermal seals can be extremely difficult to identify in the early stages or when other limiting factors are present like rainy or overcast weather and/or dirty windows. If one or several broken thermal seals are found in a home it is

recommended that all of the windows be further evaluated by a licensed qualified contractor to ensure there are no additional broken thermal seals that were not identified at the time of inspection. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.

When one window is found to have a broken thermal seal, others may be in need of repair or replacement that are not listed below or within the report. Because of this, It is recommended that all windows be cleaned and further evaluated by the qualified licensed contractor or certified professional to determine if any additional windows are in need of replacement before the close of escrow. Any additional windows that are found to have a broken or bad thermal seal should also be repaired and/or replaced at that time by the qualified licensed contractor or certified professional that was recommended to further evaluate. The window at this point has lost its argon gas thus reduces the original R-Value of the window. All windows are located as if looking from the inside out toward the road or yard.

-Overcast days, dirty windows, and/or rain can obstruct the view of the window or make it difficult to identify a bad thermal seal. The thermal window seal is the gasket that prevents fogging and moisture from entering in between the interior of the window panes.

XIV. Master Bathroom

BATHROOM INFORMATION

Tub and bathroom sink overflows are not tested at the time of inspection. Inspectors are unable to determine if the overflow is connected properly in the wall at the time of inspection. If the overflow line is not connected properly testing them can cause damage to the property. Also, the shutoff valves under sinks are not tested. By turning the valves it may cause them to leak causing damage to the property. Because of this shutoff valves are not turned, tested, or operated.

Types & Descriptions

Ventilation Types:

Electric power exhaust vent

Items

14.0 Master Bathroom Visual Findings

Component was inspected and/or operated.

The master bathroom faucet handles nearest the closet are stripped (spin all the way around). If the handles are not placed in the exact location the water will continue to drip, repair and or replacement needed. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



There is a chip in the master bath tub. Further damage and possible leakage may occur if not corrected. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



The master bath tub faucet has over spray when in use. Corrections are needed to allow proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



The toilet valve makes unusual noises when operating. Repair or replacement may be needed to ensure proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



The water closet door in the master bathroom does not latch closed. Corrections are needed to allow proper function. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



14.1 Surround Visual Findings

Component was inspected and/or operated.

14.2 Ventilation Visual Findings

Component was inspected and/or operated.

XV. Half Bathroom

BATHROOM INFORMATION

Tub and bathroom sink overflows are not tested at the time of inspection. Inspectors are unable to determine if the overflow is connected properly in the wall at the time of inspection. If the overflow line is not connected properly testing them can cause damage to the property. Also, the shutoff valves under sinks are not tested. By turning the valves it may cause them to leak causing damage to the property. Because of this shutoff valves are not turned, tested, or operated.

Types & Descriptions

Ventilation Types:

Electric power exhaust vent

Items

15.0 Half Bathroom Visual Findings

Component was inspected and/or operated.

The sink stopper did not function properly at the time of inspection. When fully engaged water still drains. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



15.1 Ventilation Visual Findings

Component was inspected and/or operated.

XVI. Hall Bathroom

BATHROOM INFORMATION

Tub and bathroom sink overflows are not tested at the time of inspection. Inspectors are unable to determine if the overflow is connected properly in the wall at the time of inspection. If the overflow line is not connected properly testing them can cause damage to the property. Also, the shutoff valves under sinks are not tested. By turning the valves it may cause them to leak causing damage to the property. Because of this shutoff valves are not turned, tested, or operated.

Types & Descriptions

Ventilation Types:

Electric power exhaust vent

Items

16.0 Hall Bathroom Visual Findings

Component was inspected and/or operated.

The tub drain stopper did not function properly or respond to the lever when testing at the time of inspection and needs repair or corrections. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



The faucet handle and or tub faucet are loose in the wall and need to be secured properly to prevent movement and possible leakage. Contact a licensed qualified contractor to further evaluate and make the necessary repairs.



16.1 Surround Visual Findings

Component was inspected and/or operated.

16.2 Ventilation Visual Findings

Component was inspected and/or operated.

XVII. Kitchen-Appliances

KITCHEN INFORMATION

The kitchen appliances are tested for basic functionality and cannot be evaluated for their performance nor for the variety of their settings or cycles. Appliances older than ten years may exhibit decreased efficiency. Even if general comments are made, these items are not inspected: free-standing appliances, refrigerators, freezers, ice makers, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, non-built in or non-secured microwave(s), instant hot water dispensers, water-purifiers, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning and cooking capability of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards. These items are considered outside the scope of the inspection. Appliances are not moved during the inspection as they may cause damage. Portable dishwashers are not inspected, as they require a connection to facilitate testing.

When building components have surface discolorations and decay typical of fungal growths, such as mold, mildew, and wood destroying fungi, the home inspection focuses only on moisture concerns and evidence of wood damage. Health issues related to the presence of mold are beyond the scope of the home inspection. If the client has concerns beyond the scope of the home inspection, a certified professional such as an industrial hygienist should be consulted prior to purchasing the home.

Items

17.0 Kitchen Components Visual Findings

Component was inspected and/or operated.

Evidence of a previous leak was noted under the kitchen sink. No active leakage was noted at the time of inspection and the moisture levels were not elevated in the cabinet under the sink when tested with a moisture meter. Ask the sellers the history of the stains and if repairs have been made to correct the leaks. If the sellers are unaware or no repairs were made the further evaluation is needed by a licensed plumbing contractor.

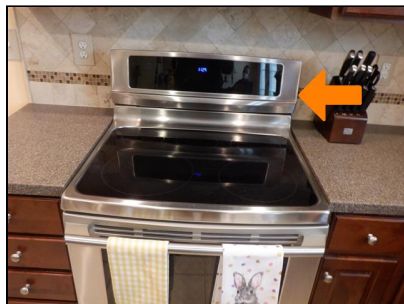


17.1 Kitchen Appliance Visual Findings

Component was inspected and/or operated.

17.2 Kitchen Recommendations

Though not required by code, the stove does not have an anti-tip device which you may want to install after closing. This is a bracket that attaches behind the oven at the wall/floor and the rear "foot" of the stove locks into it. Should you happen to have a child in the house learning to walk and they decide to pull-up on the oven handle it will prevent the stove from tipping forward and spilling hot items on top of the stove onto the child.



XVIII. Crawlspace

CRAWL SPACE INFORMATION

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons. The under the floor insulation, between the floor joists, restricts viewing of the subfloor area and a percentage of the floor joists that are not removed during the inspection. If high moisture levels were noted to be above 20% during the inspection, this may indicate but does not guarantee an organic growth problem. Many factors are needed to have excessive growth within or under a home and/or within duct systems. If mold, mildew, or other organic growth is a concern please contact us to perform a mold test or mold inspection to help determine if removal or remediation is needed.

When building components have surface discolorations and decay typical of fungal growths, such as mold, mildew, and wood destroying fungi, the home inspection focuses only on moisture concerns and evidence of wood damage. Health issues related to the presence of mold are beyond the scope of the home inspection. If the client has concerns beyond the scope of the home inspection, a certified professional such as an industrial hygienist should be consulted prior to purchasing the home.

Please review the entire report and/or refer to the signed agreement/contract for any items that are outside the scope of the inspection performed.

Types & Descriptions

Access Location:	Method Used to Inspect:	Floor Type:
Under the rear decking	Crawled with a flashlight, moisture meter, and a probing tool.	Soil

Foundation and Structure Types:

Common with wood joists. Wall types are brick and concrete masonry units.

Items

18.0 Crawlspace Visual Findings

Component was inspected and/or operated.

Due to the following (but not limited to) a licensed general contractor should be consulted to further evaluate entire framing, girders, and band sills and determine the full extent of the damage and/or if additional repairs are required or deemed necessary, as there may be additional defects that were concealed and/or otherwise unseen at the time of the original inspection. A licensed engineer that specializes in residential dwellings should be consulted for further evaluation of the entire foundation and make any additional recommendations as to the repairs required and for any additional repairs deemed necessary.

A. The bricks in some of the columns are turned where the voids are supporting the weight of the structure. The bricks are weakest in this position.

B. A floor joist has been cut to allow for the plumbing waste line in the front right area of the crawlspace. The cut may have compromised the structural integrity of the band sill as there is not a support or wall under the cut. Additional support may be required depending on the extent of the cut.

C. Moisture damage was noted to the sub floor and/or band sill along the rear of the home under the rear exterior door area. Further damage may occur if not corrected.

D. There is not support under an intersection where the front band sill and a girder meet at the front of the crawlspace. Further evaluation if this installation is needed to determine if corrections are needed to prevent possible movement.

E. Single stack of solid or open cell, 8x8x16 CMUs were observed to be stacked higher than 36 inches, as measured from the top of the footer to the top of the last concrete block. Typically concrete blocks are allowed

a maximum height is 36 inches; however, there may be an exception to the rule depending on different construction methods. Because of this, it is recommended that you consult with a qualified licensed engineer to evaluate further and determine if the current installation is installed to support the structure of the home properly.



There are moisture stains noted along the back of the front, left and rear foundation walls in the crawl space. This is an indication that water is or has entered the crawl space at one point. Contact a licensed qualified contractor to further evaluate and determine if corrections are needed.



Organic growth is common within all homes and buildings. The home inspection does not include or determine the presence or toxicity of mold and/or other organic growth(s) within the home. If there is evidence of mold and/or other organic growth(s) within the home it is strongly recommended that it be tested to determine its toxicity for you to determine if remediation is required or needed. If you are sensitive to mold and/or other organic growth(s) than it is strongly recommended that the home is tested within the allotted time frame to make an educated discussion before purchasing the home. If tests are not completed before taking ownership of the home and mold is later discovered the corrections and/or remediation is solely the responsibility left to you "the buyer".

[REDACTED]

Thank you for trusting [REDACTED] perform your property inspection at [REDACTED]

If you have any questions regarding this report, please do not hesitate to contact us and set up a time to review your report. Our inspectors are always willing to help answer any questions to ensure you completely understand the information provided in your report.

[REDACTED]

[REDACTED]